

# Local Planning Panel

29 April 2026

# Application details

Address: 431 Glebe Point Road, Glebe

Application: D/2025/1006

Applicant: G & J Drivas Pty Ltd

Owner: G & J Drivas Pty Ltd

Architect: TKD Architects

Planner: BBC Consulting Planners

# Proposal

- Alterations and additions to an existing commercial building for adaptive reuse as a residential flat building

# Recommendation

Approval, subject to conditions

# Proposal



# Reason reported to LPP

The application is reported to the LPP for determination due to:

- variation to development standards exceeding 10%
- sensitive development – residential flat building

# Notification

- exhibition period 10 November 2025 to 9 December 2025
- 420 owners and occupiers notified
- 10 submissions received - 3 in support, 7 objections

# Submissions

- car parking and servicing
- privacy and noise
- dwelling mix
- construction impacts

# Submissions



# Site





site viewed from Glebe Point Road



site viewed from Glebe Point Road



Corner of Glebe Point Road and Leichhardt Street



Leichhardt Street



Leichhardt Street

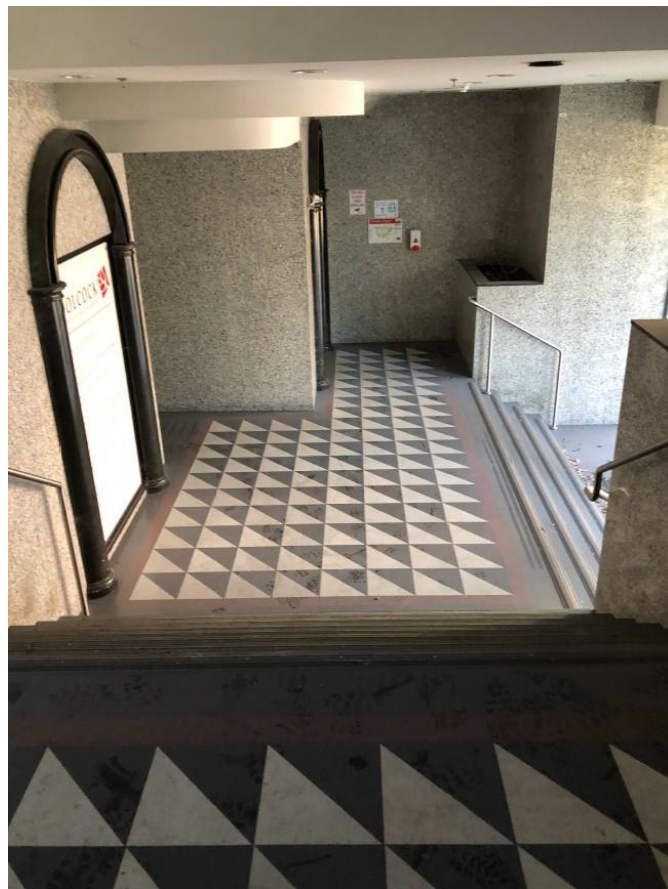




site viewed from Stewart Street



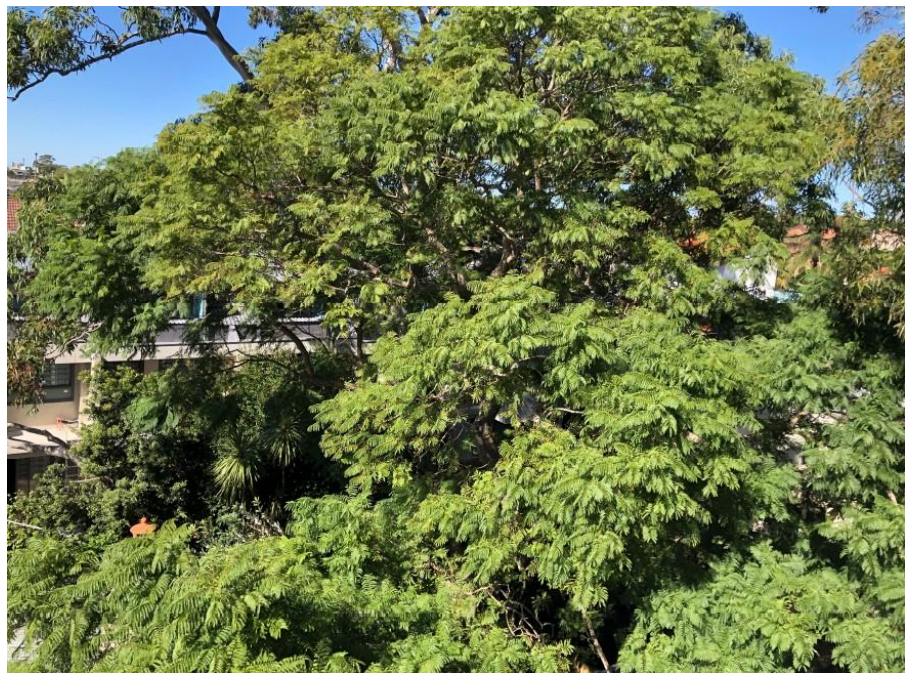
view along southern boundary



front building entry



level 3 balcony area looking west



views to south from balcony



building interior – approved strip out works being undertaken

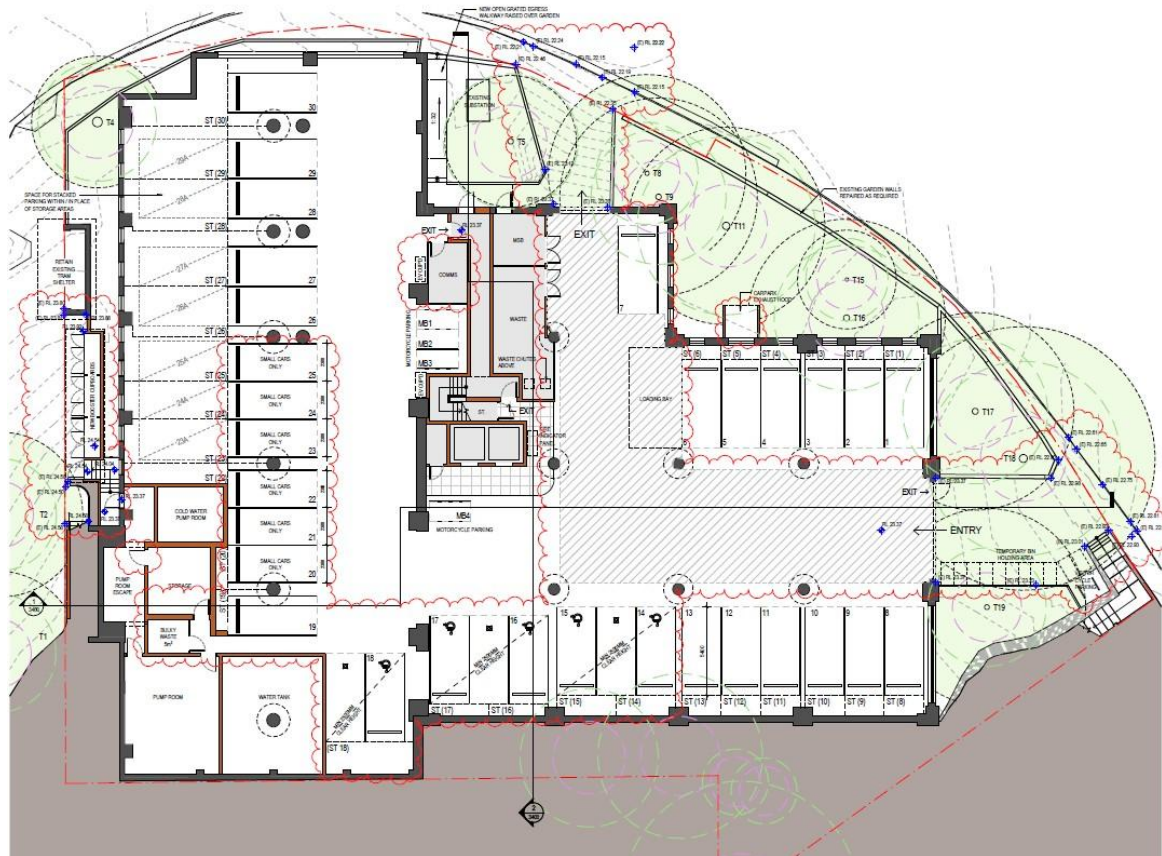


building interior including columns – approved strip out works being undertaken

# Proposal



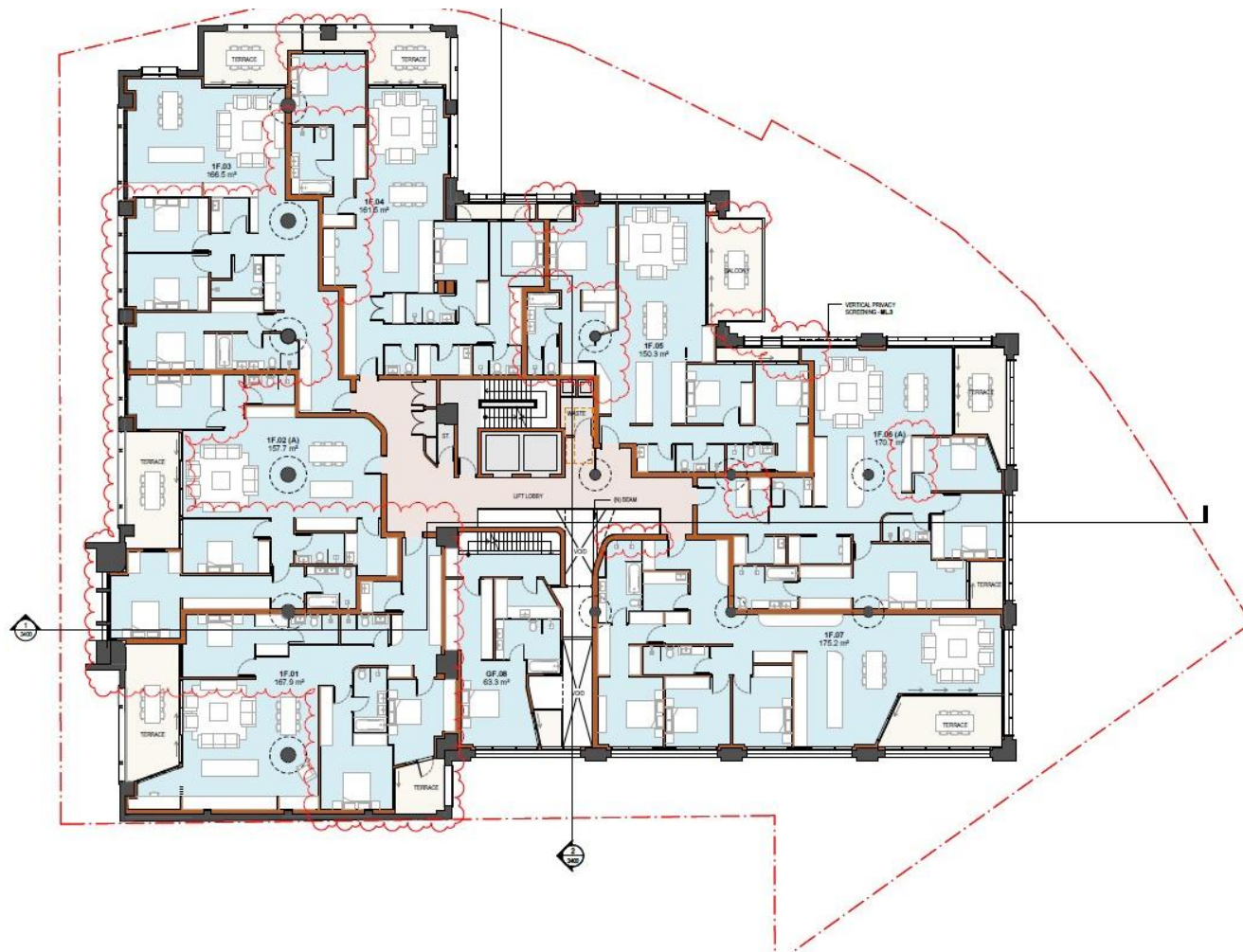
ground level demolition



basement level



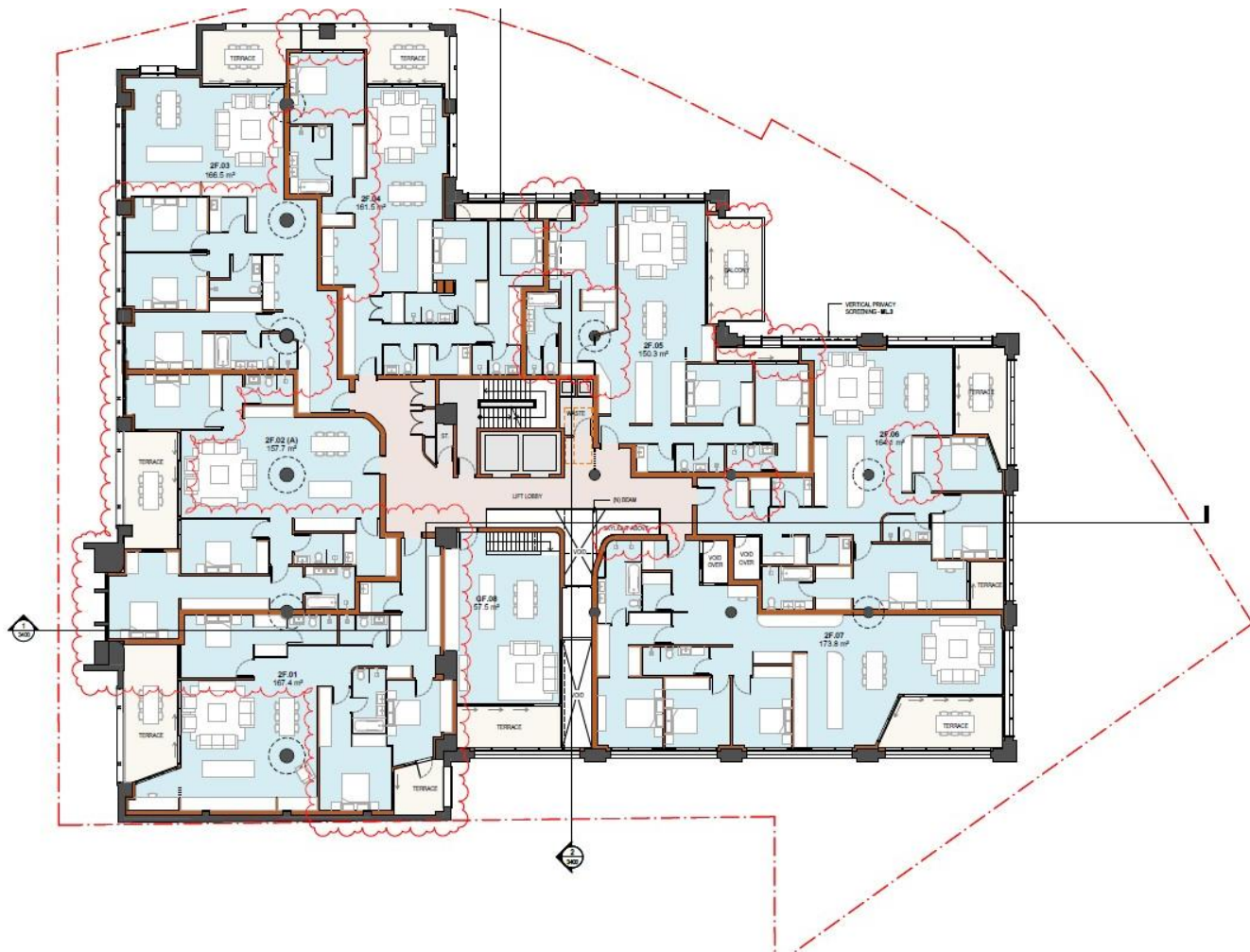
ground level

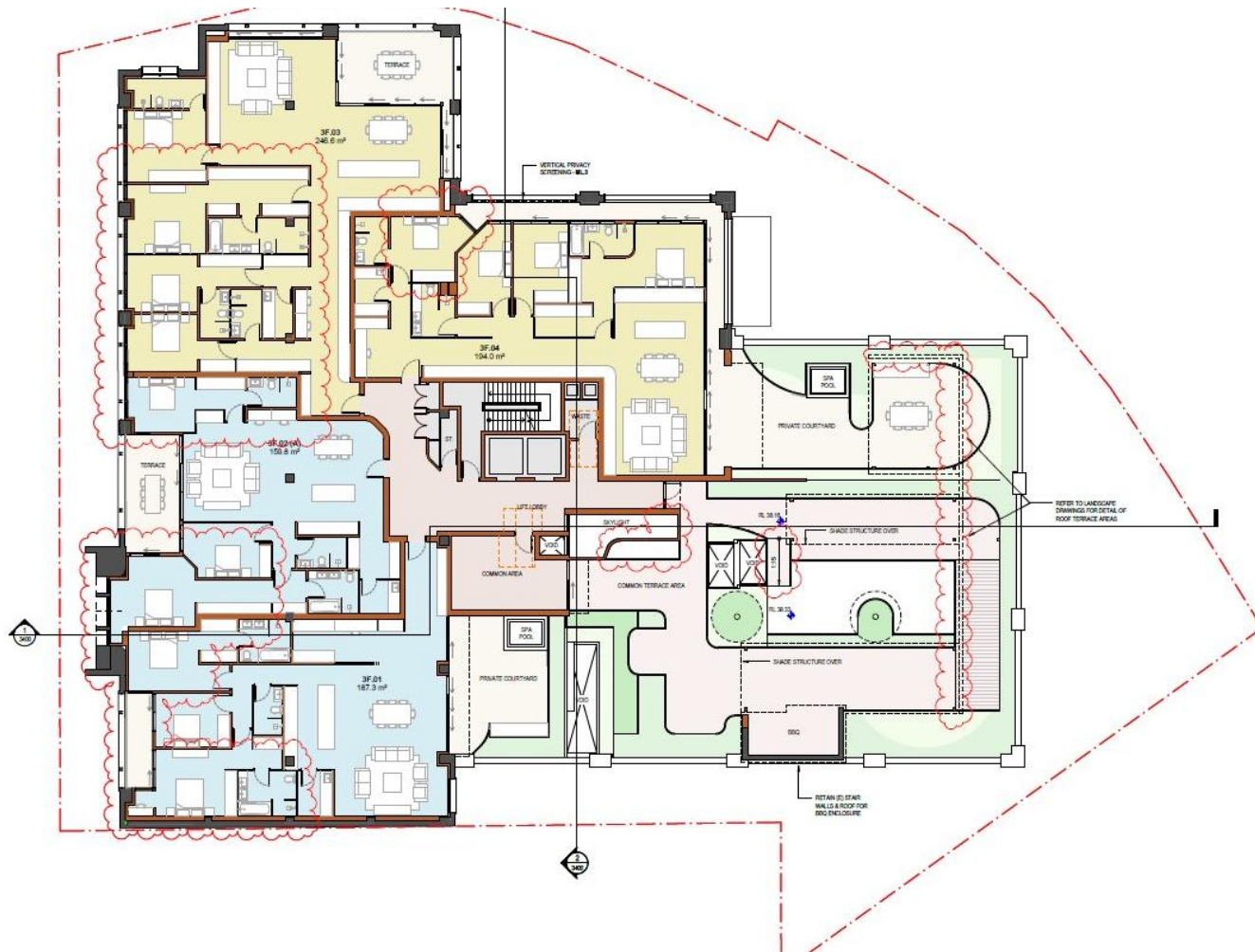


level 1



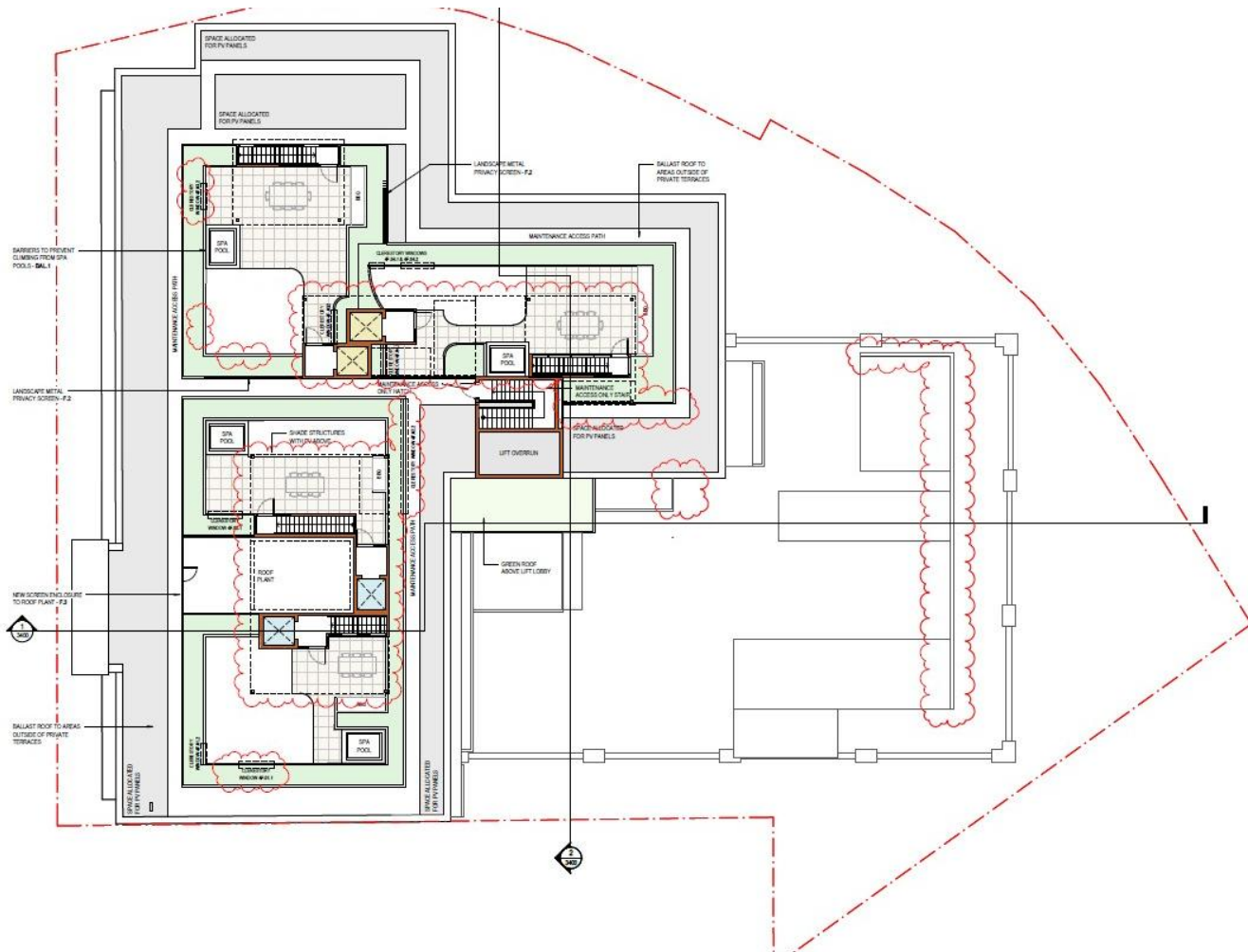
level 2





level 3



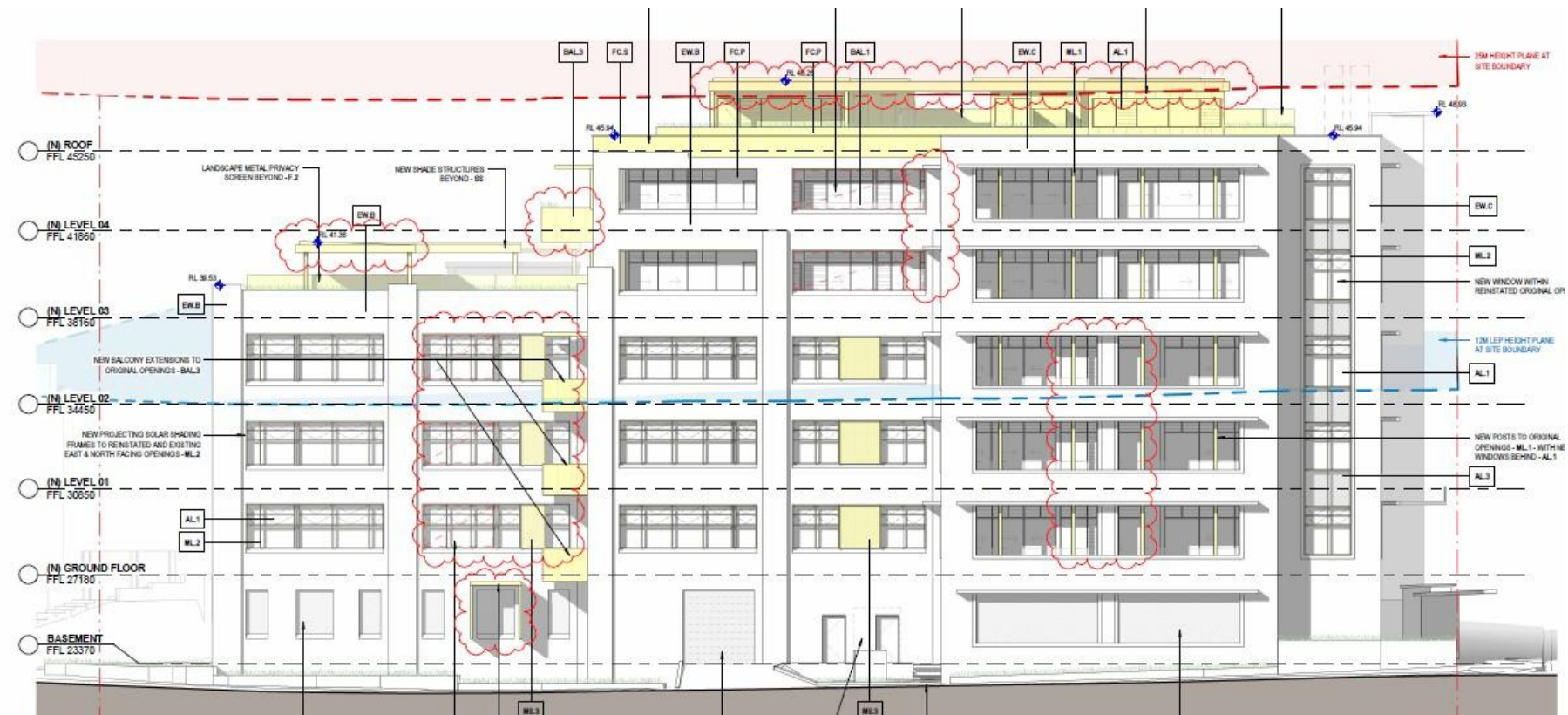


roof level plan





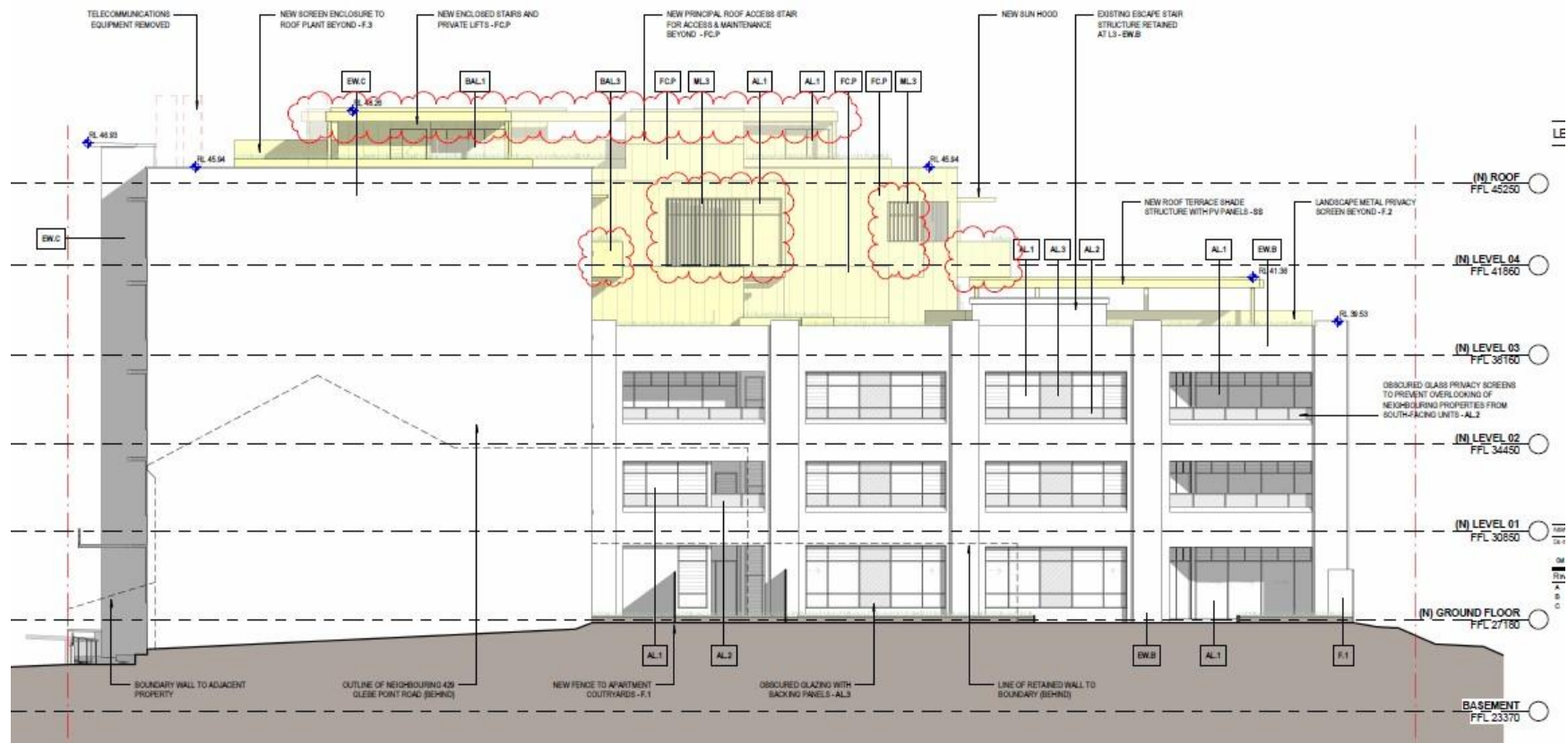
west elevation – Glebe Point Road



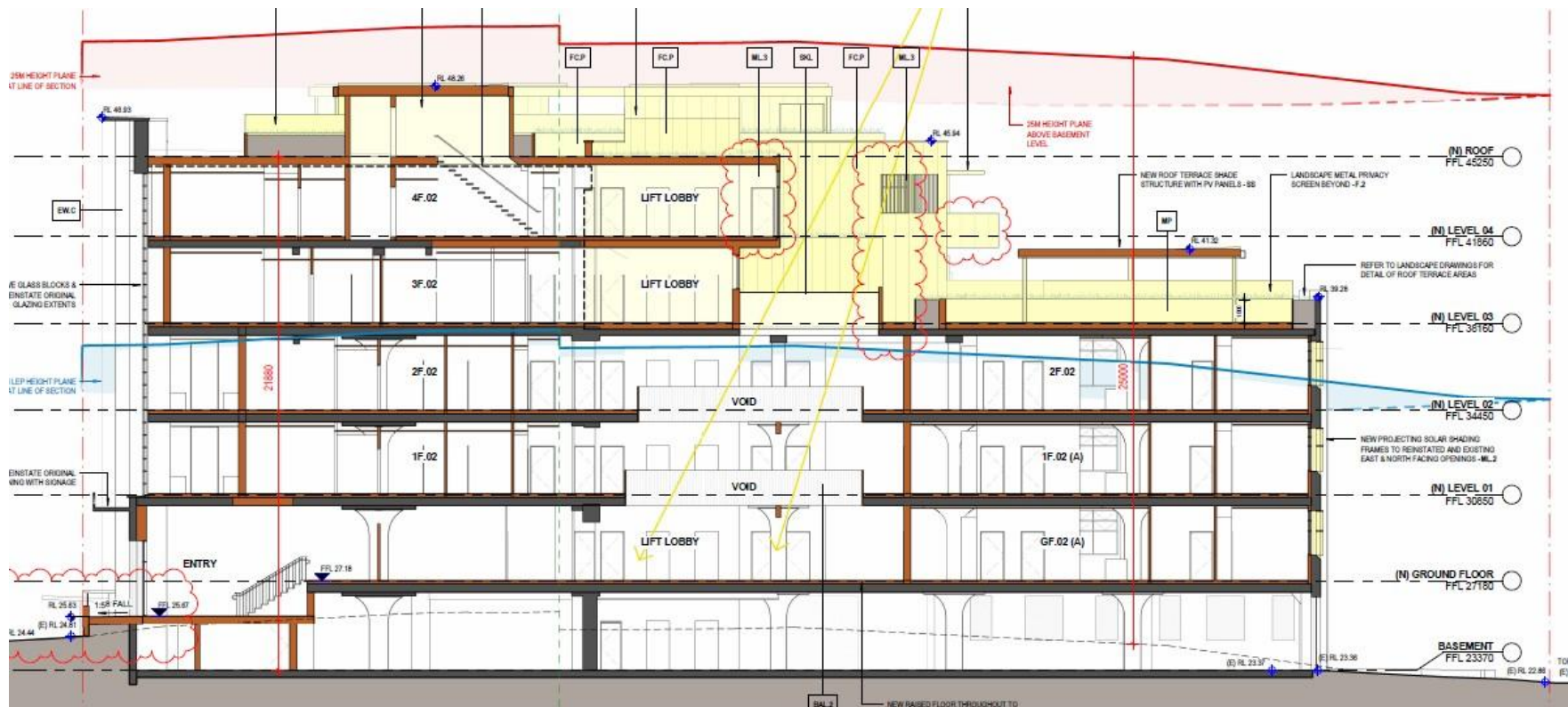
north elevation – Leichhardt Street



east elevation – Leichhardt Street



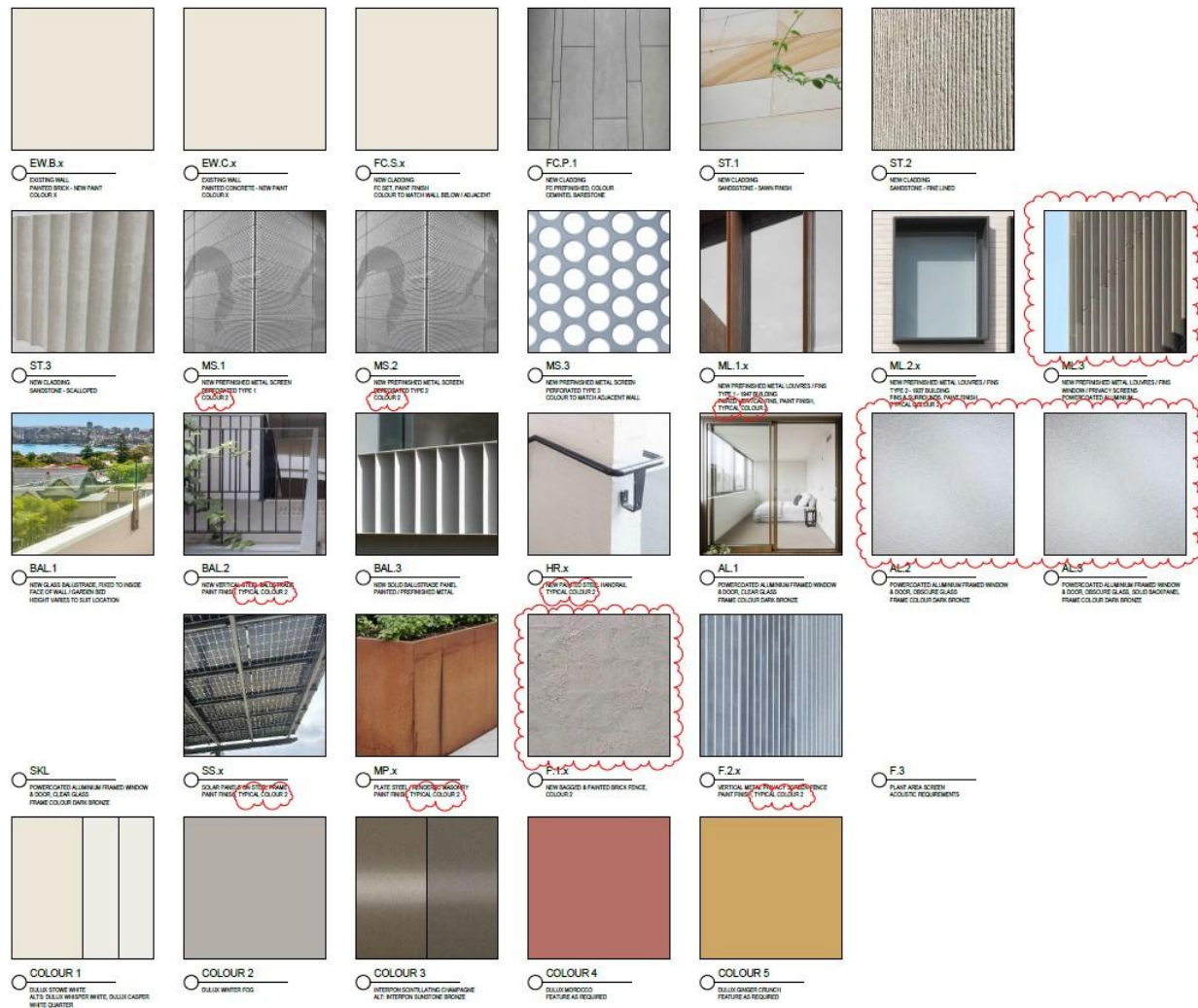
south elevation



section



section







# Compliance with key LEP standards

|                   | control | proposed | compliance          |
|-------------------|---------|----------|---------------------|
| height            | 12m     | 24.9m    | no (23.4m existing) |
| floor space ratio | 1:1     | 2.45:1m  | no (2.5:1 existing) |

# Compliance with DCP controls

|                   | control                                                                 | proposed                   | compliance               |
|-------------------|-------------------------------------------------------------------------|----------------------------|--------------------------|
| height in storeys | 3                                                                       | 5 storeys plus roof        | no<br>5 storeys existing |
| dwelling mix      | 1 bed – 10 - 40%<br>2 bed – 40 - 75%<br>3 bed – 10 – 100%<br>(maximums) | 2 bed – 3%<br>3+ bed – 97% | yes                      |

# Consistency with ADG

|            | control | proposed | consistency with control |
|------------|---------|----------|--------------------------|
| solar      | 70%     | 70%      | yes                      |
| cross vent | 60%     | 83%      | yes                      |
| deep soil  | 7%      | 11%      | yes                      |

# Consistency with ADG

|                     | control                                                                    | proposed                                                                  | consistency with control   |
|---------------------|----------------------------------------------------------------------------|---------------------------------------------------------------------------|----------------------------|
| building separation | 12m – 4 storeys<br>25m – 5 <sup>th</sup> storey                            | N – 10m - 14m<br>S – 0m - 3.2m<br>E – 28m<br>W – 26m                      | no – privacy is maintained |
| apartment size      | 1 bed 50m <sup>2</sup><br>2 bed 70m <sup>2</sup><br>3 bed 95m <sup>2</sup> | 2 bed 110m <sup>2</sup><br>3+ bed 138m <sup>2</sup><br>-192m <sup>2</sup> | yes                        |

# Consistency with ADG

|                          | control                                                                   | proposed                                                                                                          | consistency with control |
|--------------------------|---------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|--------------------------|
| floor to ceiling heights | 2.7m                                                                      | 2.7m min                                                                                                          | yes                      |
| communal open space      | 25%                                                                       | 25%                                                                                                               | yes                      |
| private open space       | 1 bed 8m <sup>2</sup><br>2 bed 10m <sup>2</sup><br>3 bed 12m <sup>2</sup> | 2 bed 12.6m <sup>2</sup><br>3 bed 15m <sup>2</sup> -88m <sup>2</sup><br>4 bed 29m <sup>2</sup> -115m <sup>2</sup> | yes                      |

# Design Advisory Panel Residential Subcommittee

The Panel reviewed the application on 2 December 2025

The panel generally supported the proposal but raised the following concerns:

- internal layout to better integrate with existing building structure including better reading and exposing of mushroom columns
- further consideration of light and ventilation to common areas
- consistency of treatment and depth to window openings

# Design Advisory Panel Residential Subcommittee

- impacts to glazed stairwell window to Glebe Point Road with sharing of sunroom areas
- privacy impacts to be further assessed
- design of rooftop areas to be rationalised

These issues have been addressed in amended plans

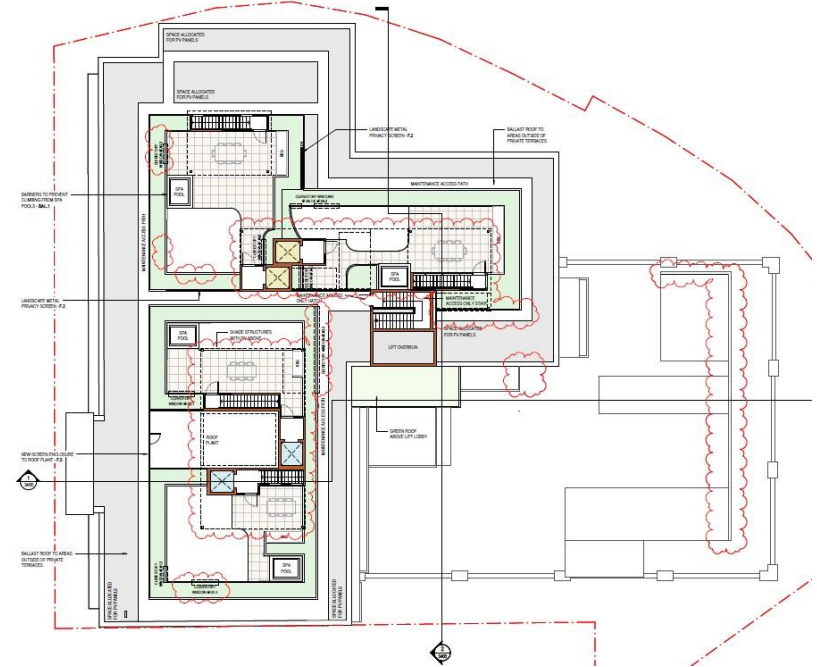
# Issues

- Height
- Heritage and design
- Privacy

# Height

- existing building height 23.4m - exceeds the 12m height standard
- rooftop additions are proposed to a height of 24.9m a variation of 107.5% to the standard (existing variation 95%)
- proposed additions are for new level 4 and rooftop private open space areas - include stair, lift and plant structures, shade structure with PV above, 4 spa and private balcony areas with landscaped screening
- new structures were amended in response to DAPRS comments

# Height



section plan (left) and roof level floor plan (right)

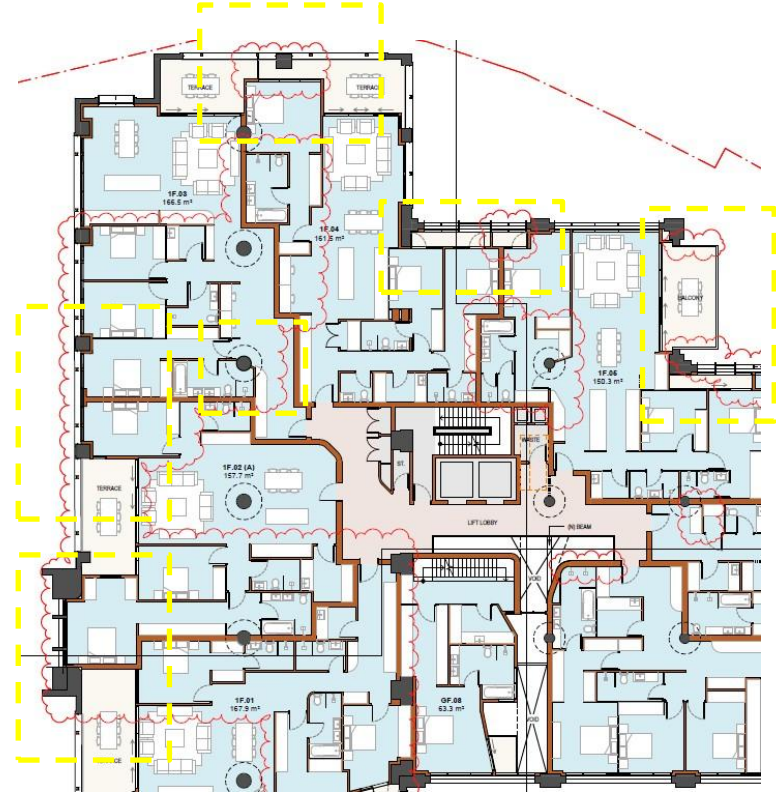
# Height – clause 4.6

- Clause 4.6 request is supported:
  - objectives of the standard are achieved notwithstanding the non-compliance
  - the additions are a modest increase to the overall scale of the building and do not result in additional unacceptable impacts

# Heritage and design

- Design amended in response to DAPRS feedback:
  - amended internal layout to expose mushroom columns and better relate to existing building features (windows and columns)
  - consistent glazing line to Glebe Point Road
  - void to internal common areas increased
  - glazed stairwell window assigned to one unit only
  - rooftop elements amended and rationalised
  - balcony designs and proportions amended
  - minor additions amended to relate to form of building

# Heritage and design

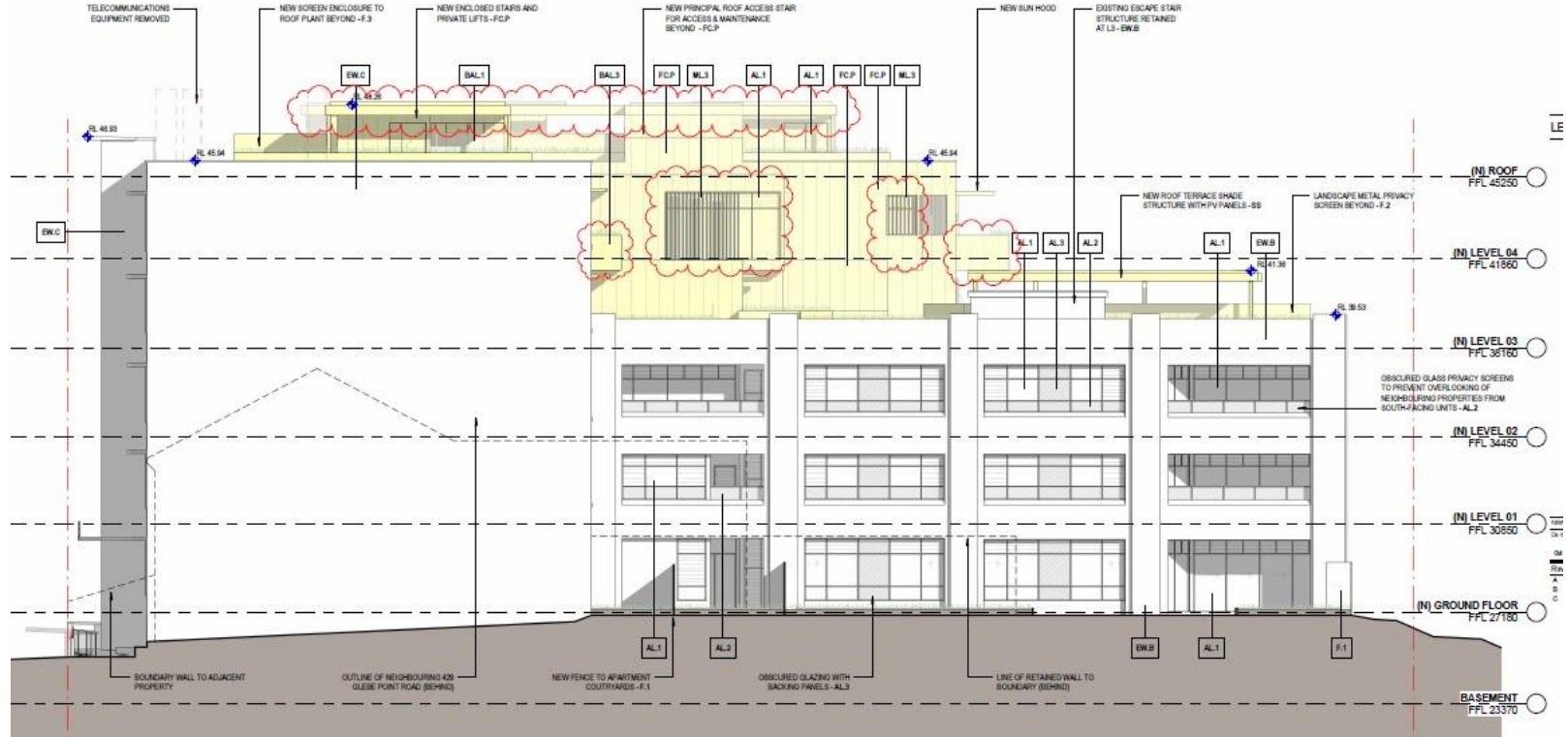


Level 1 floor plan as lodged (left) and as amended (right)

# Privacy

- South:
  - ground level the site is below that of 2 Leichhardt Street
  - levels 1 & 2 - existing windows, obscure glazing
  - level 2 terrace - faces towards side boundary wall of 429 Glebe Point Road
  - level 3 terrace - existing terrace, landscaping setback
- North:
  - existing windows across and higher than 433 Glebe Point Road
  - new windows and balconies more than 14m from 433 Glebe Point Road

# Privacy



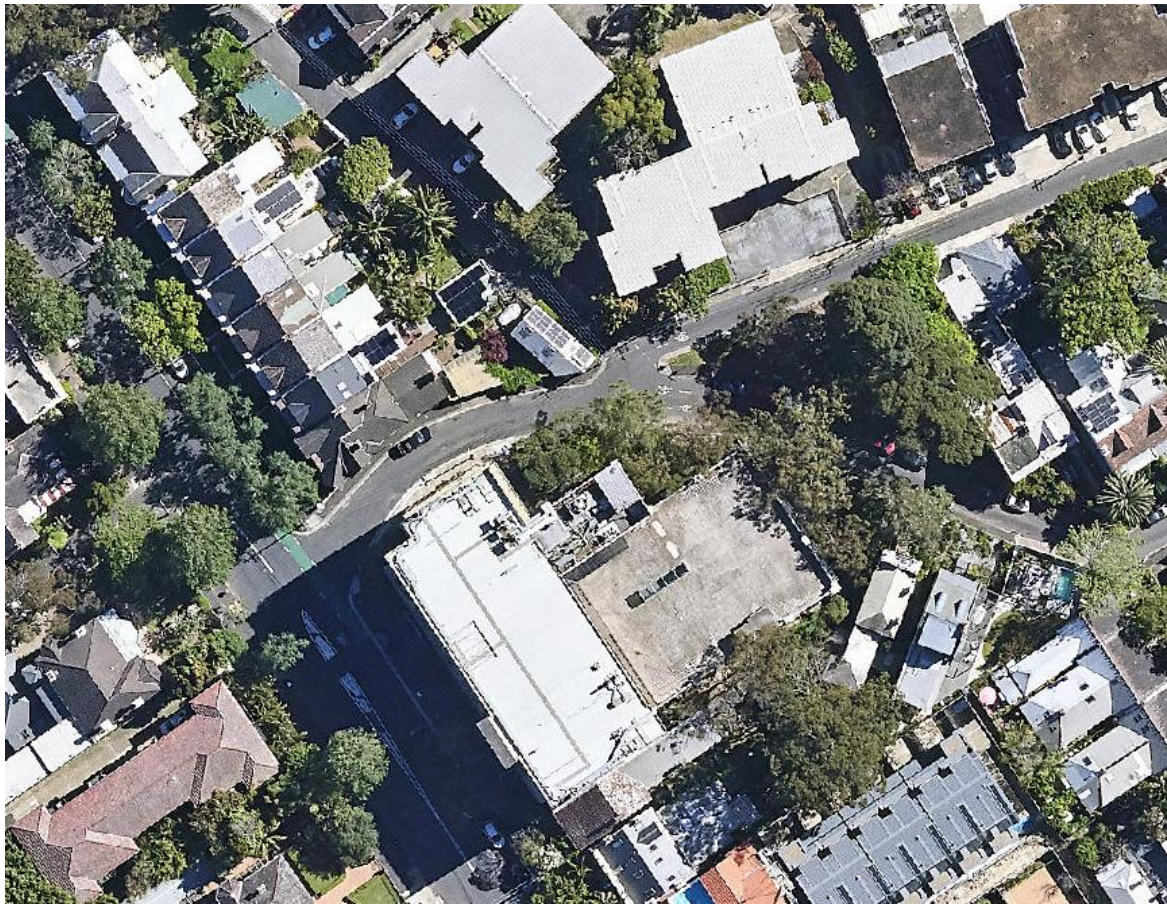
south elevation

# Privacy



north elevation perspective

# Privacy



sufficient privacy provided

# Recommendation

Approval subject to conditions